



5 January 2023

DESIGN HARMONY
RMB 1201 Yarraalong Rd
WYONG CREEK NSW 2259

Application to Modify Development Consent Notice of Determination

Pursuant to Section 4.55 of the Environmental Planning and Assessment Act 1979 and
Clause 122 of the Environmental Planning and Assessment Regulation 2000.

Development Application No: DA/2210/2022/A
Property Address: Lot 84 DP 19828,
50 Baker Street, DORA CREEK NSW 2264
Original Proposal: Alterations and Additions - Dwelling House, Attached
Garage and Carport
Modification sought: Change from Garage to Carport
Determination Status: Amended Approval
Determination Date: 5 January 2023
Consent to operate from: 25 October 2022
Consent to lapse on: 25 October 2027

Conditions of Consent

(Approved subject to the conditions specified in this notice and in accordance with
the stamped approved plans).

Reason for the Imposition of Conditions

The reason for the imposition of the following conditions shall ensure, to Council's
satisfaction, the objects of the *Environmental Planning and Assessment Act 1979* (as
amended) are achieved:

To encourage:

- a) The proper management, development and conservation of natural and artificial
resources, including agricultural land, natural areas, forest, minerals, water,
cities, towns, and villages for the purpose of promoting the social and economic
welfare of the community and a better environment;

- i. The promotion and co-ordination of the orderly and economic use of development of land;
 - ii. The protection, provision, and co-ordination of communication and utility services;
 - iii. The provision of land for public purposes;
 - iv. The provision and co-ordination of community services and facilities;
 - v. The protection of the environment, including the protection and conservation of native animals and plants including threatened species, populations, and ecological communities and their habitats;
 - vi. Ecologically Sustainable Development; and
 - vii. The provision and maintenance of affordable housing.
- b) To promote the sharing of the responsibility for environmental planning between the different levels of government in the State.
 - c) To provide increased opportunity for public involvement and participation in environmental planning and assessment.

1. Prescribed Conditions

- a) The work shall be carried out in accordance with the requirements of the *Building Code of Australia*.
- b) In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.
- c) A sign shall be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - i. showing the name, address and telephone number of the Certifying Authority for the work, and
 - ii. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - iii. stating that unauthorised entry to the work site is prohibited.

Any such sign shall be maintained while the building work, subdivision work or demolition work is being carried out, but shall be removed when the work has been completed.

- d) Residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:

- i. in the case of work for which a principal contractor is required to be appointed:
 - a. the name and licence number of the principal contractor, and
 - b. the name of the insurer by which the work is insured under Part 6 of that Act,
- ii. in the case of work to be done by an owner-builder:
 - a. the name of the owner-builder, and
 - b. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so the information notified under (d) becomes out of date, further work must not be carried out unless the Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.

2. Approved Documentation

The development consent incorporates this schedule of conditions and the plans and documents referenced and stamped as follows:

- a) Plans Reference: Modification – DA/2210/2022/A

Plans prepared by: Design Harmony; Project Number. 222-403			
Name of Plan	Drawing No.	Issue	Date
Site Plan	2	3	25.11.2022
Ground Floor Plan	3	3	25.11.2022
First Floor Plan	4	3	25.11.2022
Elevations and Sections	5	3	25.11.2022

Details of the development shown in the approved plans and documents referenced are altered in the manner indicated by:

- i. Any amendments made by Council on the approved plans or documents;
- ii. Any notes, markings, or stamps on approved plans or documents, and
- iii. Any conditions contained in this consent.

Conditions to be satisfied prior to the issue of the Construction Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of a Construction Certificate.

Any documentation required to be submitted for the Construction Certificate shall be submitted to the Certifying Authority unless otherwise specified.

3. Floor Levels – Flooding

All building components located below the flood planning level of 3.02m AHD shall be constructed using flood compatible materials where possible.

Prior to commencement of works:

1. Development consent shall be subject to submission of a report from an appropriate consulting engineer demonstrating that the building, inclusive of the proposed additions, can withstand the forces of flowing floodwaters, to include velocities and debris impacts.

2. Construction Management Plan – Baker Street railway bridge limitations

The contractor engaged to undertake the construction works within the development site shall provide a construction management plan (CMP) to the satisfaction of Council, a minimum of seven days prior to commencing any works. The CMP shall be approved by the Council prior to works commencing on site. The CMP shall set out the construction approach for the works and demonstrate how all vehicular traffic can use the Baker Street railway bridge underpass for ingress and egress. No access is permitted to the Baker Street flood emergency evacuation road.

4. Construction Certificate

Prior to the commencement of building work a Construction Certificate shall be obtained.

5. Stormwater Disposal

A design plan for the disposal of stormwater prepared in accordance with the requirements of *Australian Standard 3500* shall be submitted.

Stormwater shall be conveyed to:

- a) an existing approved stormwater system, or
- b) the street gutter or kerb inlet pit, or
- c) an existing easement to which the land has an entitlement to use, or
- d) an inter-allotment drainage system to which the land has an entitlement to use.

6. Bushfire Protection

The site is identified as having potential to be affected by bushfire.

Prior to the issue of each Construction Certificate, the development shall be capable of being constructed in accordance with Bushfire Attack Level (BAL-12.5) type construction in accordance with AS3959 – 2018 Construction of buildings in bushfire prone areas of Planning for Bushfire Protection 2019.

7. Acid Sulfate Soils Report

Prior to issue of the Construction Certificate, an Acid Sulfate Soils report and management plan must be provided to the certifying authority.

8. Building Sustainability Index (BASIX) Certificate

The development shall be constructed in accordance with a current Building Sustainability Index (BASIX) certificate.

Conditions to be satisfied prior to the commencement of works

The person having the benefit of the consent shall comply with each of the following conditions prior to the commencement of works.

9. Building Waste

An area for the containment of building waste materials shall be provided within the boundaries of the building site, above natural or excavated ground level, by a screened area of silt stop fabric or shade cloth, having minimum dimensions of 2.4 x 2.4 x 1.2 metres high OR equivalent size waste disposal bin.

10. Erosion and Sediment Controls

Erosion and sediment controls shall be installed as follows:

- a) A sediment fence shall be erected consisting of stakes at 2.5m maximum intervals with geotextile filter fabric securely attached to the stakes. The base of the fabric shall be entrenched a minimum 150mm below the ground surface. Only geotextile specifically produced for sediment fencing may be used. The use of shade cloth is not permitted.
- b) The sediment fence shall be located so all sediment-laden water from the site flows through at least one sediment fence before flowing offsite.
- c) The vehicle site access shall have a minimum width and length of three metres with a surface of compacted aggregate (30mm to 75mm) or a sealed surface. The use of broken tiles is not acceptable.

- d) Where the sediment fence joins onto the site access, a hump shall be constructed in the access to divert water to behind the sediment fence.
- e) Aggregate or gutter “bags” are not permitted where the road width is less than eight metres. No bags shall be placed where they may create a safety or flooding hazard. Where appropriate, a bag made from green sediment fence material, or similar, shall be placed in the gutter. The bag shall be at least 450mm long, 200mm diameter and filled with clean rock aggregate. The use of hessian bags and sand filled bags is not permitted.

A material stock pile area, such as, sand or soil, shall be contained with a sediment fence installed as per point (a) above.

11. Dial Before You Dig (Advice)

Prior to commencement of work, the free national community service “Dial Before You Dig” shall be contacted on 1100 regarding the location of underground services in order to prevent injury, personal liability and even death. Enquiries shall provide the property details and the nearest cross street/road.



12. Asbestos

Prior to commencing demolition of buildings containing asbestos, a commercially manufactured sign containing the words “DANGER ASBESTOS REMOVAL IN PROGRESS” measuring 400mm x 300mm (see below) shall be erected in a prominent visible position on the site in accordance with *AS1319 Safety Signs for the Occupational Environment*.



The person entitled to act on this consent shall notify adjoining residents in writing five working days prior to the demolition.

Conditions to be satisfied during demolition and construction works

The person having the benefit of the consent shall comply with each of the following conditions during demolition and construction works.

13. Noise - Construction Sites

The operating noise level of construction site operations, including machinery, plant and equipment when measured at any affected premises, shall be evaluated and comply with the Requirements of the NSW Office of Environment and Heritage publication *Interim Construction Noise Guideline July 2009*.

Approved Construction Times

- a) The approved hours for construction of this development are:
 - Monday to Friday - 7.00am to 6.00pm.
 - Saturday – 8am to 1pm.
- b) No construction work shall take place on Sundays or Public Holidays.

Construction Periods in Excess of 26 Weeks

- a) If the construction period is in excess of 26 weeks, a Noise Management Plan shall be provided to Council prior to the issue of the first Construction Certificate. Such plan shall be prepared with the assistance of a suitably Qualified Acoustic Engineer, indicating whether the use of machinery, plant and equipment during those operations can be completed without causing offensive noise (as defined in the *Protection of the Environment Operations Act 1997*) in the neighbouring area. The Noise Management Plan shall be complied with at all times during the construction period and shall identify any mitigation measures to control noise, noise monitoring techniques and reporting methods, likely potential impacts from noise and a Complaints Handling System.
- b) Operational times may be amended with the written advice of Council's General Manager or Delegate.

14. Floor Levels – Flooding – DELETED**15. Excavation – Aboriginal Relics**

Should any Aboriginal relics be discovered then all excavations or disturbance to the area shall cease immediately and the Department of Premier and Cabinet - Heritage NSW, shall be informed in accordance with Section 89A of the *National Parks and Wildlife Act 1974*.

All necessary approvals from the Department of Premier and Cabinet - Heritage NSW shall be obtained and a copy provided to Council prior to works recommencing.

16. Stormwater Disposal

Immediately after completion of any roof, a stormwater disposal system shall be installed which disposes of the stormwater without causing any adverse environmental impacts.

17. Building Waste

The enclosure or bin shall be maintained for the term of the construction to the completion of the development.

The enclosure or bin shall be regularly cleaned to ensure proper containment of the building wastes generated on the site.

18. Unobstructed Footpath Access

The person having the benefit of the consent shall maintain unobstructed footpath access within the public road reserve at all times. Building materials shall not be placed or stored within the road reserve.

In the case of sites where it is not possible to keep the footpath or road reserve clear during construction works approval from Council shall be obtained prior to any closing of the road reserve or footpath area. An application for temporary structure or occupation of road reserve should be submitted via Council's website.

19. Erosion and Sediment Controls

Should any sediment from the site be deposited outside the site, such as, from vehicle tyres or a broken bag, it shall be removed from the road or gutter immediately.

Erosion and sediment controls shall be effectively maintained until the site is made erosion resistant.

20. Demolition

Demolition shall only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no demolition shall be carried out at any time on a Sunday or a public holiday.

All demolition work shall be carried out strictly in accordance *with Australian Standard AS 2601-2001: The Demolition of Structure*.

Waste materials (including excavation, demolition and construction waste materials) shall be managed on the site and then disposed of at an approved waste management facility. During construction all vehicles entering or leaving the site shall have their loads covered, and shall be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.

21. Bushfire Protection

The proposed building has been identified as being affected by bushfire.

Prior to the issue of each Construction Certificate, the development shall be capable of being constructed in accordance with Bushfire Attack Level (BAL-12.5) type construction in accordance with AS3959 – 2018 Construction of buildings in bushfire prone areas of Planning for Bushfire Protection 2019.

22. Asbestos

All works removing asbestos containing materials shall be carried out by a suitably licensed asbestos removalist duly licensed with SafeWork NSW, holding either a Friable (Class A) or a Non-Friable (Class B) Asbestos Removal License, which ever applies, and a current SafeWork NSW Demolition License where works involve demolition.

Measures shall be in place in accordance with SafeWork NSW guidelines and the Work Health and Safety Regulation 2017. Work shall not commence or continue until all necessary safeguards required by SafeWork NSW are fully in place.

Asbestos waste shall only be disposed of at a landfill site authorised to receive such waste and copies of receipts received from such disposal kept and made available for inspection by Council during normal working hours and upon the giving of reasonable notice.

Note: Council's Awaba Waste Management Facility can accept asbestos for a fee, provided the material is safely secured in accordance with the relevant guidelines. At least 24 hours prior notice shall be given to allow an area to be prepared for disposal.

Conditions to be satisfied prior to issue of an Occupation Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of the Occupation Certificate, Interim or Final, as stated in each condition.

23. Floor Levels – Flooding

All unsealed electrical installations associated with the development located below 3.02m AHD, such as pumps, switches, power points, motors, etc. shall comply with the protection against electric shock provisions for 'Damp Situations' outlined in Australian Standard AS 3000 "Australian/New Zealand Wiring Rules".

Evidence of compliance with AS 3000 from a licenced electrician or similarly qualified person shall be provided to the Principal Certifier, prior to release of each Occupation Certificate.

24. Occupation Certificate

The development shall not be occupied or used prior to the issuing of a Final Occupation Certificate or Interim Occupation Certificate by the Certifying Authority. Where an Interim Occupation Certificate has been issued, only that part of the building to which the Certificate applies may be occupied or used.

25. Stormwater Disposal

The stormwater disposal system shall be constructed in accordance with the approved Construction Certificate plans, prior to the issue of the Interim or Final Occupation Certificate, whichever comes first.

26. Smoke Alarms - Existing Building - Class 1a

In accordance with Clause 94 of the *Environmental Planning and Assessment Regulation 2000* the owner of the building shall ensure the building is equipped with smoke alarms that are located on or near the ceiling and complying with the following:

- a) in any storey of the building containing bedrooms - in every corridor or hallway associated with a bedroom, and if there is no such corridor or hallway associated with a bedroom, between that part of the building containing the bedroom and the remainder of the building; and
- b) in any other storey of the building not containing bedrooms.

Where more than one smoke alarm is installed within the Class 1(a) building, they shall be interconnected.

The smoke alarms installed shall be functioning and shall comply with the requirements of AS 3786 and shall be powered from the mains electricity supply, or by a non-removable battery with a minimum life expectancy of ten years that is connected to the smoke alarm.

These provisions shall be satisfied prior to the issue of the Interim or Final Occupation Certificate, whichever comes first.

27. Demolition

At the completion of the works, the work site shall be left clear of waste and debris and the site shall be grassed or otherwise rendered erosion resistant.

Operational Conditions

The person having the benefit of the consent shall comply with each of the following conditions during the operation of the development.

28. Emissions

There shall be no interference with the amenity of the neighbourhood by reason of the emission of any "offensive noise" as defined in the *Protection of the Environment Operations Act 1997*, vibration, smell, fumes, smoke, vapour, steam, soot, ash or dust, or otherwise as a result of the development.

Right of Appeal

If you are dissatisfied with this decision (including a determination on a review under Section 8.2), Division 8.3 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court.

Note: The Environmental Planning and Assessment Act 1979 does not give a right of appeal to an objector who is dissatisfied with the determination of the Council to grant consent to a development application, unless the application is for designated development (including designated development that is integrated development) either unconditionally or subject to conditions.

Right of Review

Section 8.2 and 8.3 of the Environmental Planning and Assessment Act 1979 provides the applicant may request the Council to review the determination.

Note: A request to review the determination of a development application pursuant to Section 8.2 and 8.3 of the Environmental Planning and Assessment Act 1979 can only be undertaken where the consent authority is Council, other than:

- (a) A determination to issue or refuse to issue a complying development certificate, or
- (b) A determination in respect of designated development, or
- (c) A determination in respect of integrated development, or
- (d) A determination made by the Council under Division 4.6 in respect of an application by the Crown.

Planning Assessment Commission

The Planning Assessment Commission has not conducted a public hearing in respect of this application.

Advisory Notes:**Hunter Water Requirements**

The owner is required to comply with the requirements of the Hunter Water Act 1991, relevant to the development. If you require further information, please contact Hunter Water on 1300 657 657.

Should you require further information, please contact the undersigned on 4921 0269 or by e-mail on smwing@lakemac.nsw.gov.au.

Yours faithfully



Shanyng Wing - BDC04823

Building Surveyor

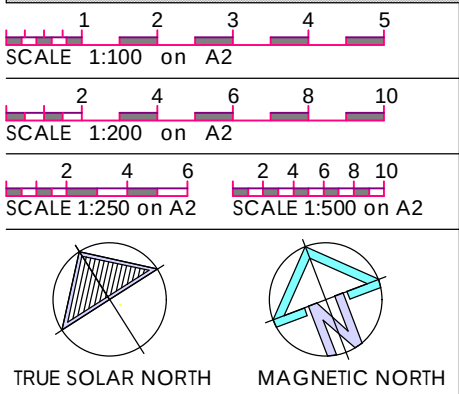
Development Assessment and Certification

DOOR SCHEDULE			
DOOR #	DOOR SIZE	LOCATION	DOOR TYPE
D-01	820x2,040	Carport/ WS	Hinged
D-02	820x2,040	Family/ Bthrm	Cavity Sliding Door

NOTE

- ONLY NEW OR ALTERED WINDOWS HAVE BEEN INCLUDED IN THIS SCHEDULE.
- W04 & 5 HAVE NOT BEEN INCLUDED IN THE BASIX ASSESSMENT AS THEY OCCUR IN THE NON-HABITABLE WORKSHOP.
- WINDOW FRAME SPECIFICATION, U - VALUES AND SHGC VALUES SHOULD BE CONFIRMED BY REFERRING TO THE FULL BASIX CERTIFICATE.
- FRAME & GLAZING MUST COMPLY WITH BOTH BASIX AND BUSHFIRE SPECIFICATIONS.

WINDOW SCHEDULE									
WINDOW #	LOCATION	HEAD HT	ELEVATION	HT	WIDTH	AREA	ORIENTATION	SHADING	STYLE
W-01	Prop. Family Rm	2,100		0.60	2.15	1.29	West	600mm	Al. Sliding
W-02	Prop. Bthrm	2,100		0.45	3.01	1.35	South	None	Al. Sliding
W-03	Prop. Family Rm	2,100		1.20	2.15	2.58	West	600mm	Al. Sliding
W-04	Exist. Workshop	2,310		0.60	1.55	0.93	West	None	Al. Sliding
W-05	Exist. Workshop	2,310		0.60	1.55	0.93	West	None	Al. Sliding
						7.08 m ²			



List of Amendments

25/11/22 - SECTION 4.55
APPLICATION TO DELETE ENCLOSING
WALLS TO ALTER GARAGE TO
BECOME OPEN CARPORT & TO ALTERED
THE APPROVED GARAGE FLOOR LEVEL.

SECTION 4.55 CHANGES NOTED IN
COLOURED BACKGROUND

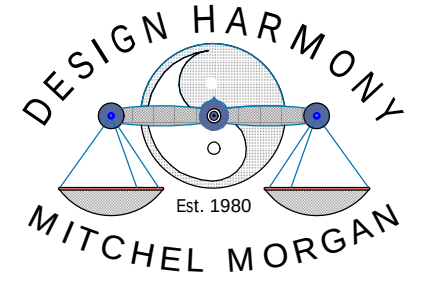
20/12/22 - DELETE GARAGE
ROLLER DOOR.

LAKE MACQUARIE CITY COUNCIL

Approved plans for
Development Consent No: DA/2210/2022/A
Date of Approval: 05/01/2023

NOT FOR CONSTRUCTION

RESIDENTIAL BUILDING DESIGN
LICENSED BUILDER # 41026



993 Yarramalong Rd, Wyong Creek, 2259
P. 02 43 561 226 M. 0414 872 813
E. desharm@bigpond.net.au

OWNER / CLIENT

Singh, M.

Project
Proposed Addition,
Garage & Carport

Project Address

Lot 84
DP 19828
50 Baker St,
Dora Creek

THIS SHEET - 3

GROUND FLOOR
PLANS

SCALE
1:100, 1:1
DATE
25/11/2022

FILE No.
222 - 403
DRAWN
MM
ISSUE
03

5. EXISTING GROUND FLOOR PLAN 1:100

2. PROPOSED GROUND FLOOR PLAN 1:100

SUPPLEMENTARY SPECIFICATION - BASIX COMMITMENTS

THIS IS A SUMMARY OF THE FULL BASIX CERTIFICATE #A472488 ISSUED FOR THIS PROJECT. COMPLIANCE WITH ALL ASPECTS OF THE CERTIFICATE IS MANDATORY FOR THE CONSTRUCTION OF THE PROJECT.

1. FITTINGS & FIXTURES

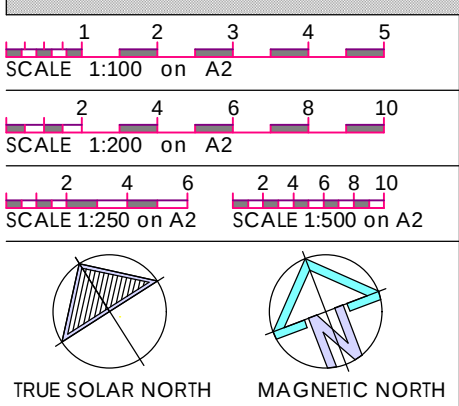
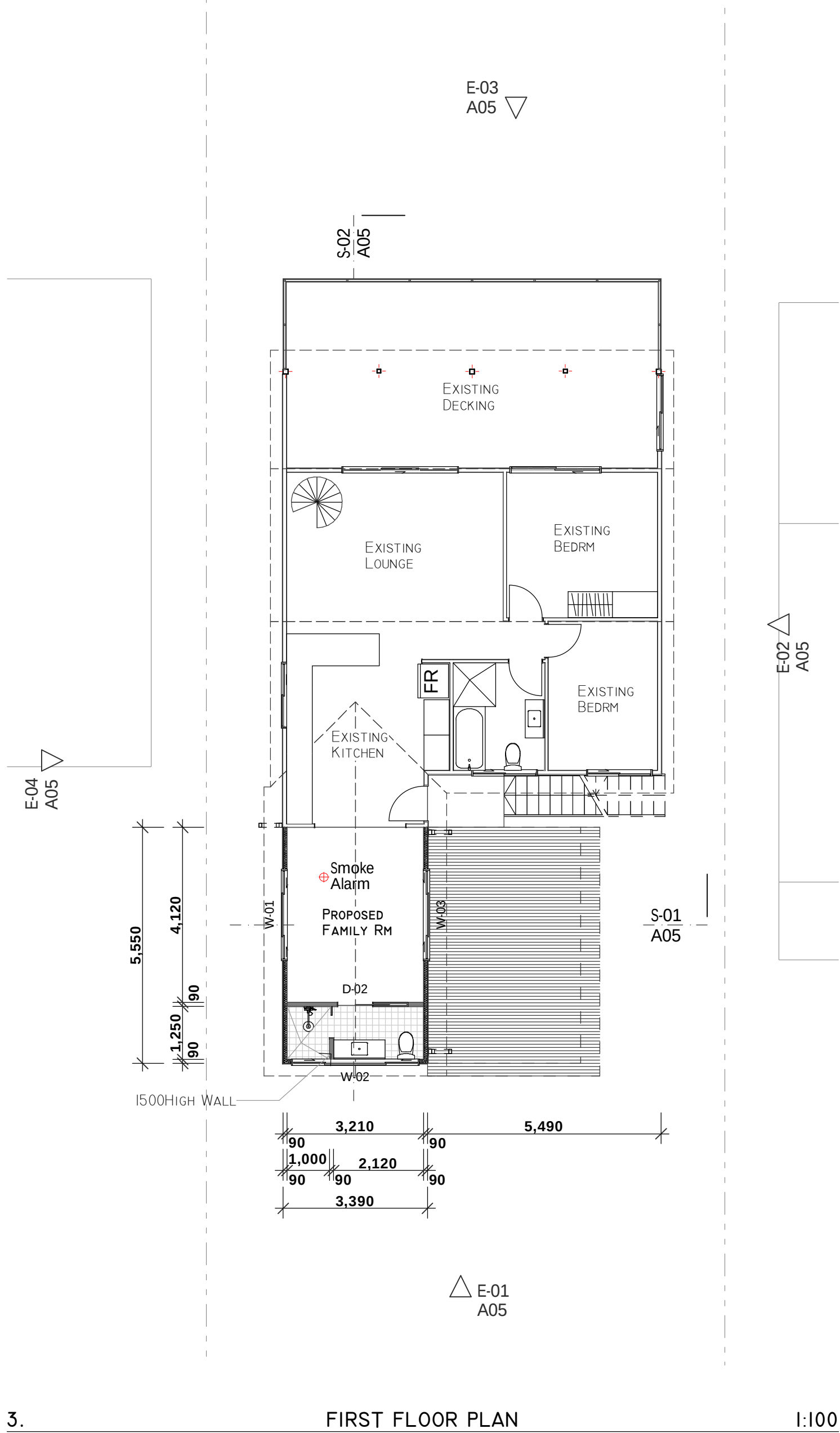
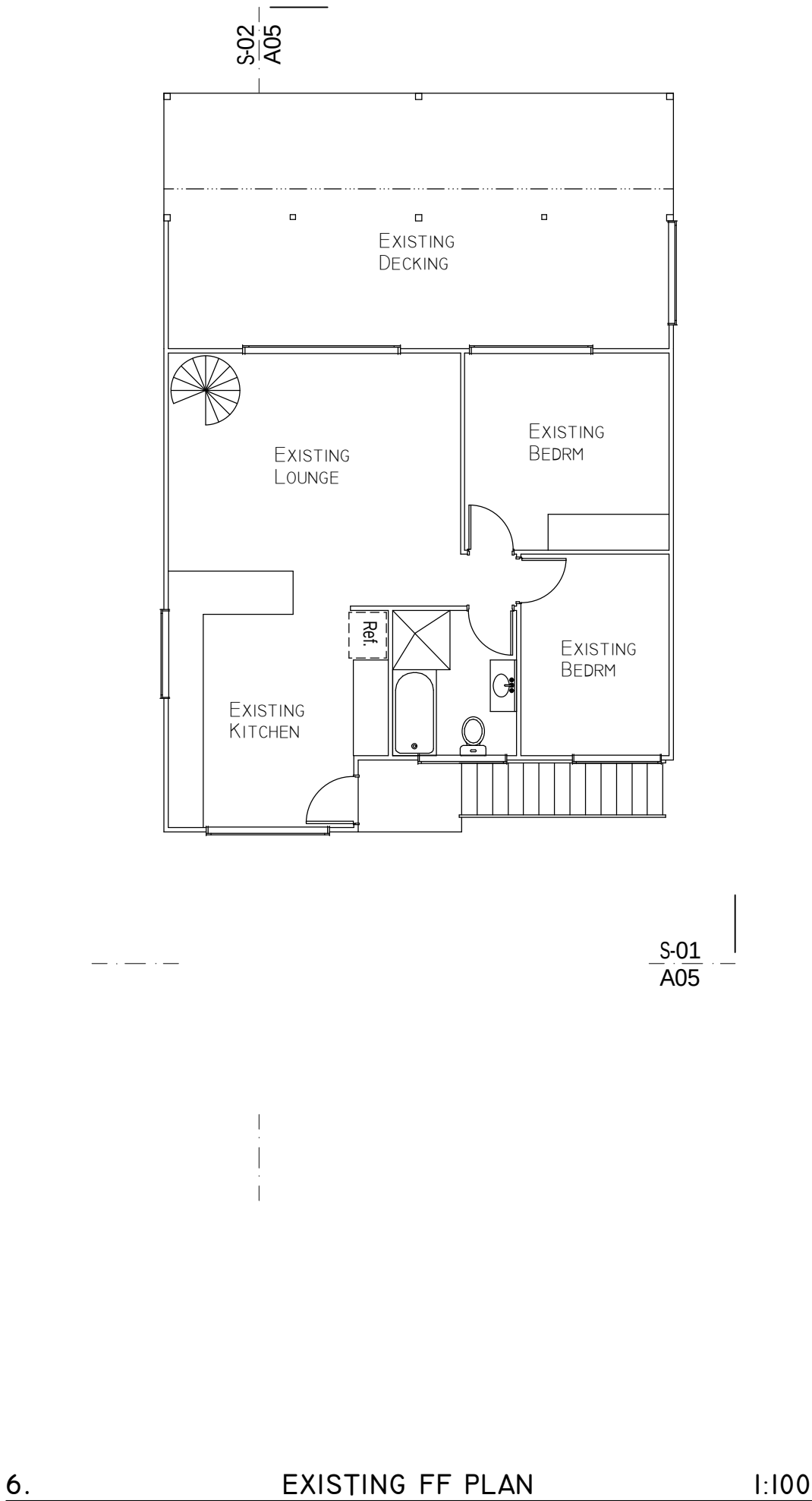
- * A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FITTINGS ARE TO BE FLUORESCENT, COMPACT FLUORESCENT OR LED LAMPS.
- * ANY NEW OR ALTERED SHOWER HEADS MUST BE A MINIMUM 3STAR RATED. ANY NEW OR ALTERED WC'S MUST BE HAVE A MINIMUM 3STAR RATED CISTERN.
- ANY NEW OR ALTERED TAPS MUST BE A MINIMUM 3STAR RATED.

2. INSULATION REQUIREMENTS

- * SUSPENDED TIMBER FRAMED FLOOR (ABOVE ENCLOSED GARAGE) DOES NOT REQUIRE ANY INSULATION TO BE ADDED.
- * EXTERNAL TIMBER STUD WALLS ARE TO HAVE MINIMUM R1.3 INSULATION ADDED.
- * LEVEL CEILING AND ROOF ARE TO HAVE R1.45(UP) INSULATION ADDED TO CEILING & 55MM FOIL BACKED BLANKET INSTALLED DIRECTLY UNDER THE "MEDIUM" COLOURED ROOF SHEETING.

3. WINDOWS

- * GENERALLY - WINDOW SIZES, PLACEMENT, GLAZING, FRAME TYPE AND ORIENTATION MUST ALL BE AS INDICATED ON THE PLANS AND WINDOW SCHEDULE.
- * TOP OF WINDOW TO BOTTOM OF ADJACENT OVERHANG MUST NOT EXCEED 500MM.
- * VERANDAHS AND EAVE OVERHANGS MUST BE CONSTRUCTED AS INDICATED ON THE PLANS.



List of Amendments

25/11/22 - SECTION 4.55
APPLICATION TO DELETE ENCLOSING
WALLS TO ALTER GARAGE TO
BECOME OPEN CARPORT & TO ALTERED
THE APPROVED GARAGE FLOOR LEVEL.

SECTION 4.55 CHANGES NOTED IN
COLOURED BACKGROUND

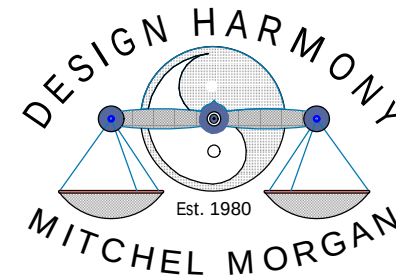
20/12/22 - DELETE GARAGE
ROLLER DOOR.

LAKE MACQUARIE CITY COUNCIL

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OWNER / CLIENT

Singh, M.

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Proposed Addition,
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THIS SHEET - 4

FIRST FLOOR PLANS

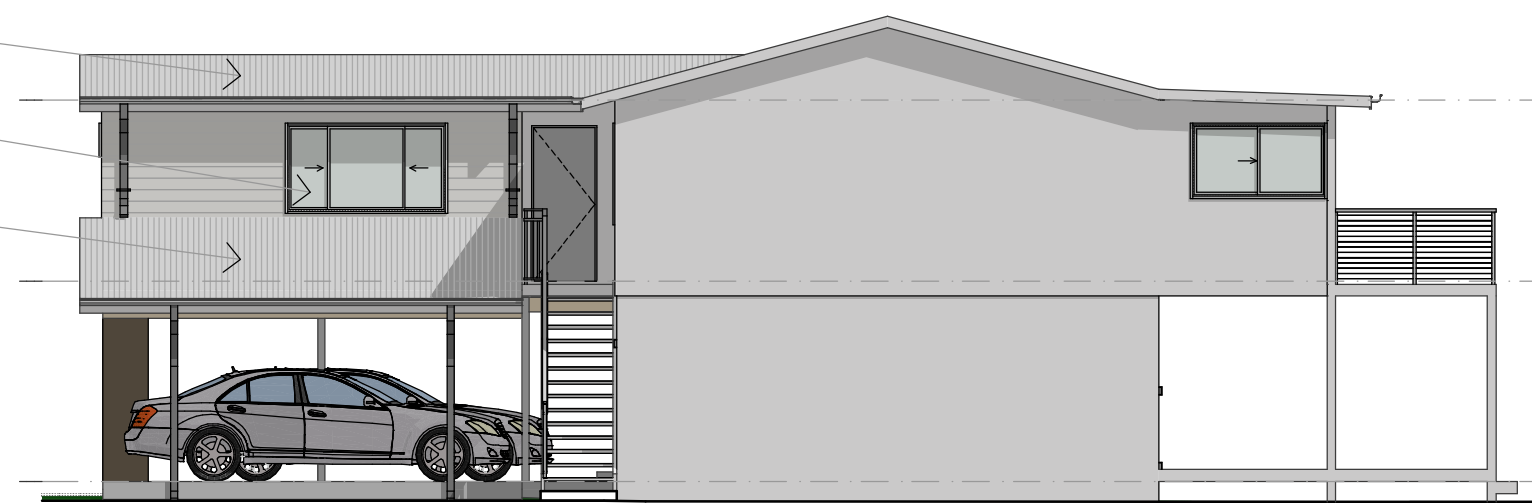
SCALE 1:100 DATE 25/11/2022

FILE No. 222 - 403 DRAWN MM ISSUE 03



E-01 SOUTH ELEVATION 1:100

- PROVIDE COLOURBOND METAL ROOFING IN SELECTED COLOUR
- PROVIDE ALUMINIUM FRAME WINDOWS IN MATCHING COLOUR
- PROVIDE COLOURBOND METAL ROOFING IN SELECTED COLOUR



E-02 EAST ELEVATION 1:100

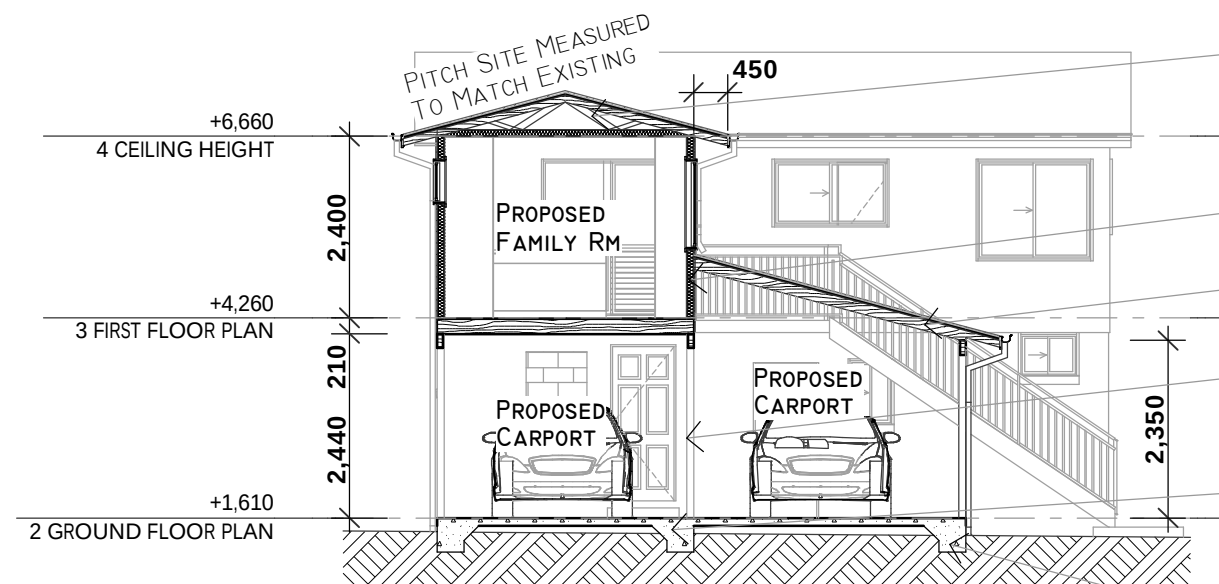


E-03 NORTH ELEVATION 1:100

- PROVIDE SELECTED CLADDING WITH PAINT FINISH IN MATCHING COLOUR
- PROVIDE RENDERED MASONRY WALLS WITH PAINT FINISH IN MATCHING COLOUR
- PROVIDE POSTS WITH OPEN SIDES TO CARPORT, REMOVE ENCLOSING WALLS



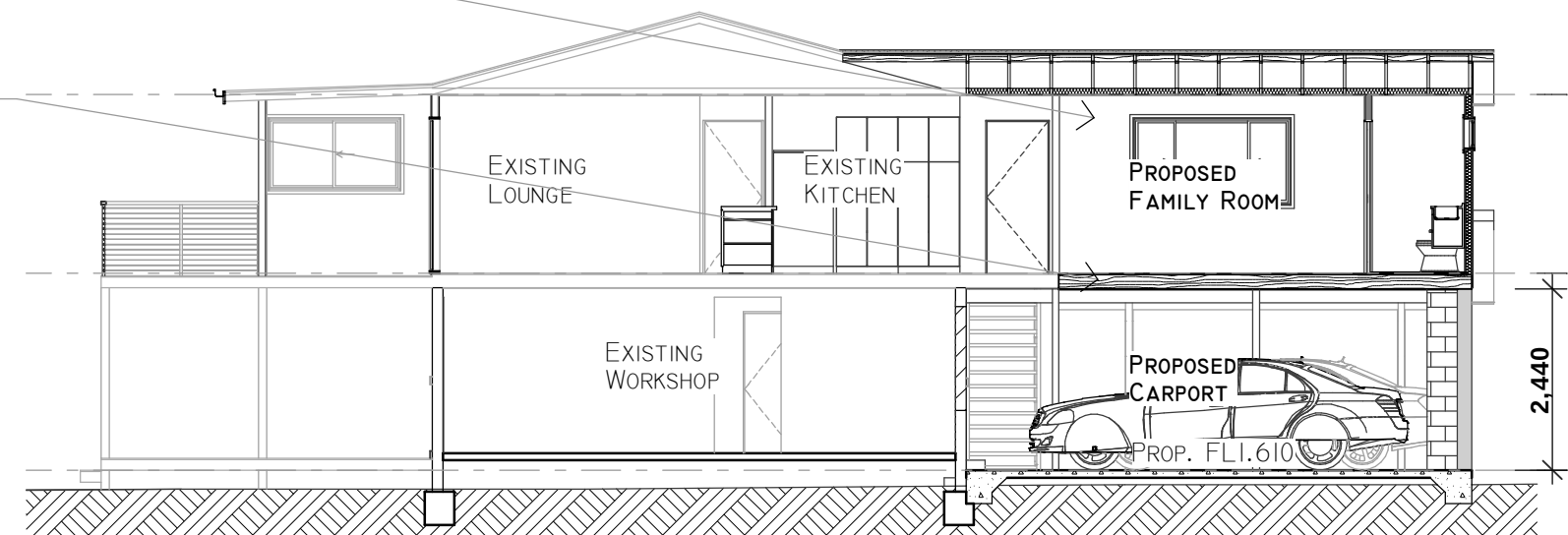
E-04 WEST ELEVATION 1:100



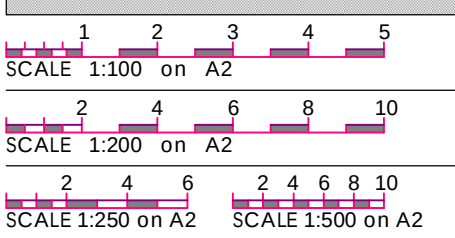
S-01 SECTION 1:100

- PROVIDE PLASTERBOARD WALL & CEILING LININGS, WET AREAS - TO BE 'VILLABOARD' WALL LINING
- PROVIDE TRUSS ROOF FRAMING TO SUPPLIERS DETAIL & CERTIFICATION
- PROVIDE PARTICLE BOARD FLOORING ON ENGINEERED TIMBER FLOOR JOISTS TO ASI684
- PROVIDE TIMBER STUD WALL FRAMING TO AS I684
- PROVIDE TIMBER ROOF FRAMING TO ASI684
- PROVIDE MASONRY WALLS TO CARPORT FRONT ONLY
- PROVIDE CONCRETE FLOOR SLAB TO ENGINEERS DETAILS

CARPORT FLOORS TO BE AT RLI.610AHD TO ALLOW ROOM ABOVE TO BE AT FLOOR LEVEL THAT MATCHES EXISTING



S-02 SECTION 1:100



TRUE SOLAR NORTH MAGNETIC NORTH

List of Amendments

25/11/22 - SECTION 4.55 APPLICATION TO DELETE ENCLOSING WALLS TO ALTER GARAGE TO BECOME OPEN CARPORT & TO ALTERED THE APPROVED GARAGE FLOOR LEVEL.

SECTION 4.55 CHANGES NOTED IN COLOURED BACKGROUND

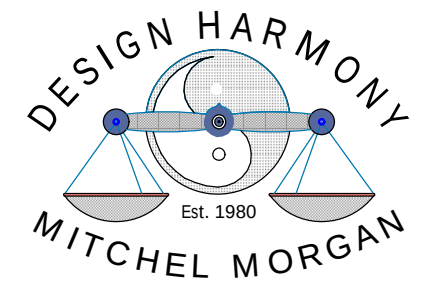
20/12/22 - DELETE GARAGE ROLLER DOOR.

LAKE MACQUARIE CITY COUNCIL

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Development Consent No: DA/2210/2022/A
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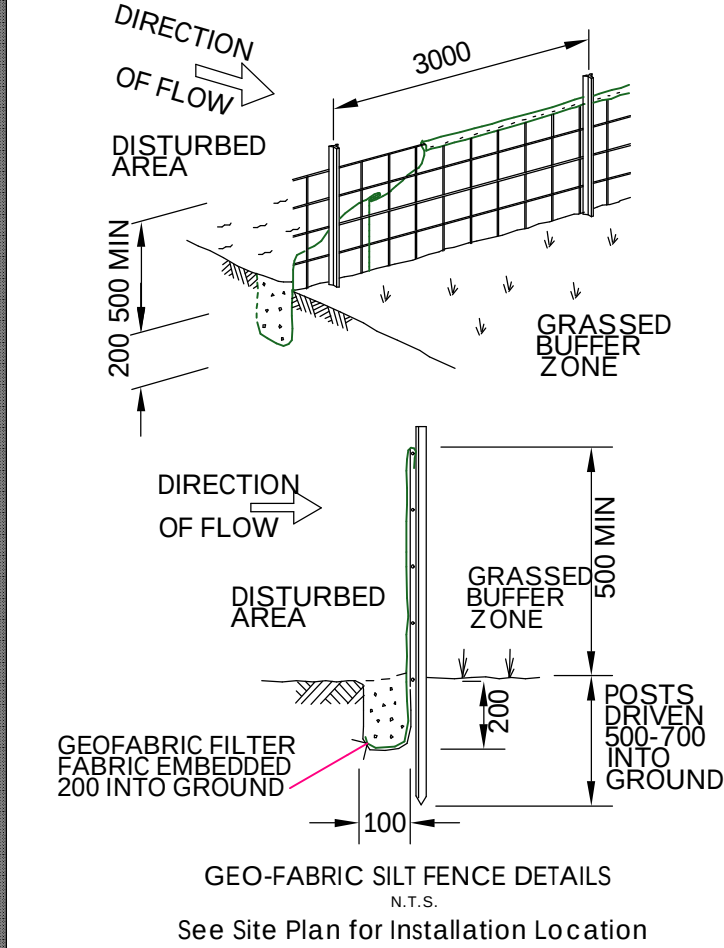
THIS SHEET - **5**
**ELEVATIONS &
SECTIONS**

SCALE **1:100** DATE **25/11/2022**

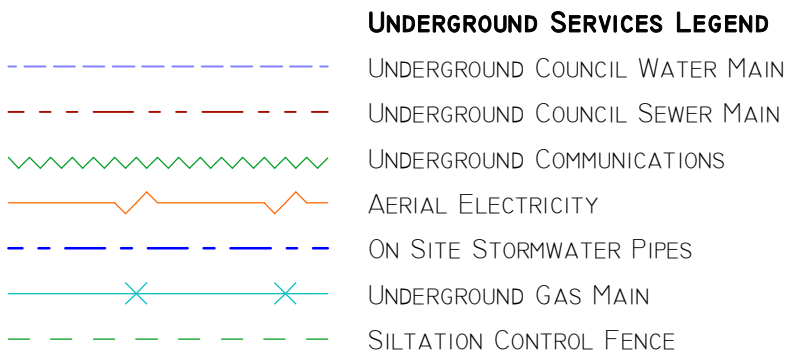
FILE No. **222 - 403** DRAWN **MM** ISSUE **03**

NOTES

- Ground lines shown are approx.
- Dimensions are in millimetres, Do Not Scale.
- Dimensions and levels are to be confirmed on site prior to commencement.
- All work to be carried out in accordance with the NCC (BCA), relevant Australian Standards and in Accordance with Local Council Requirements.
- Building Set Out in Relation to Boundaries to be Confirmed by Surveyor.
- Permission from Design Harmony may be required for the use or re-use of this design.
- The Builder, (or Structural Engineer Engaged by The Builder), Is To Determine Wind Terrain Category Prior To Commencement of Any Work.
- These Plans are to be read in conjunction with All Engineers Details and Reports, Council Approval Conditions, The Basix Certificate and the General Specification.
- Provide Articulation Joints in Brick or Masonry Walls in Accordance with AS 3700 or AS 4773.
- Window Glazing Must Comply with the Determined Wind Category for the Site, as well as the Basix and Bushfire Specifications (if applicable).
- Termite Prevention and Inspection Measures must be installed to last the life of the building and in Accordance with AS3660.1
- Existing In-Ground Utility Assets have been generically indicated from DBYD information supplied at Design Stage (Not All Services May be Shown). It is essential that fresh DYDB requests Must be made Immediately Prior to Any Effected Works Commencing rather Than Relying the Information Shown on these plans.



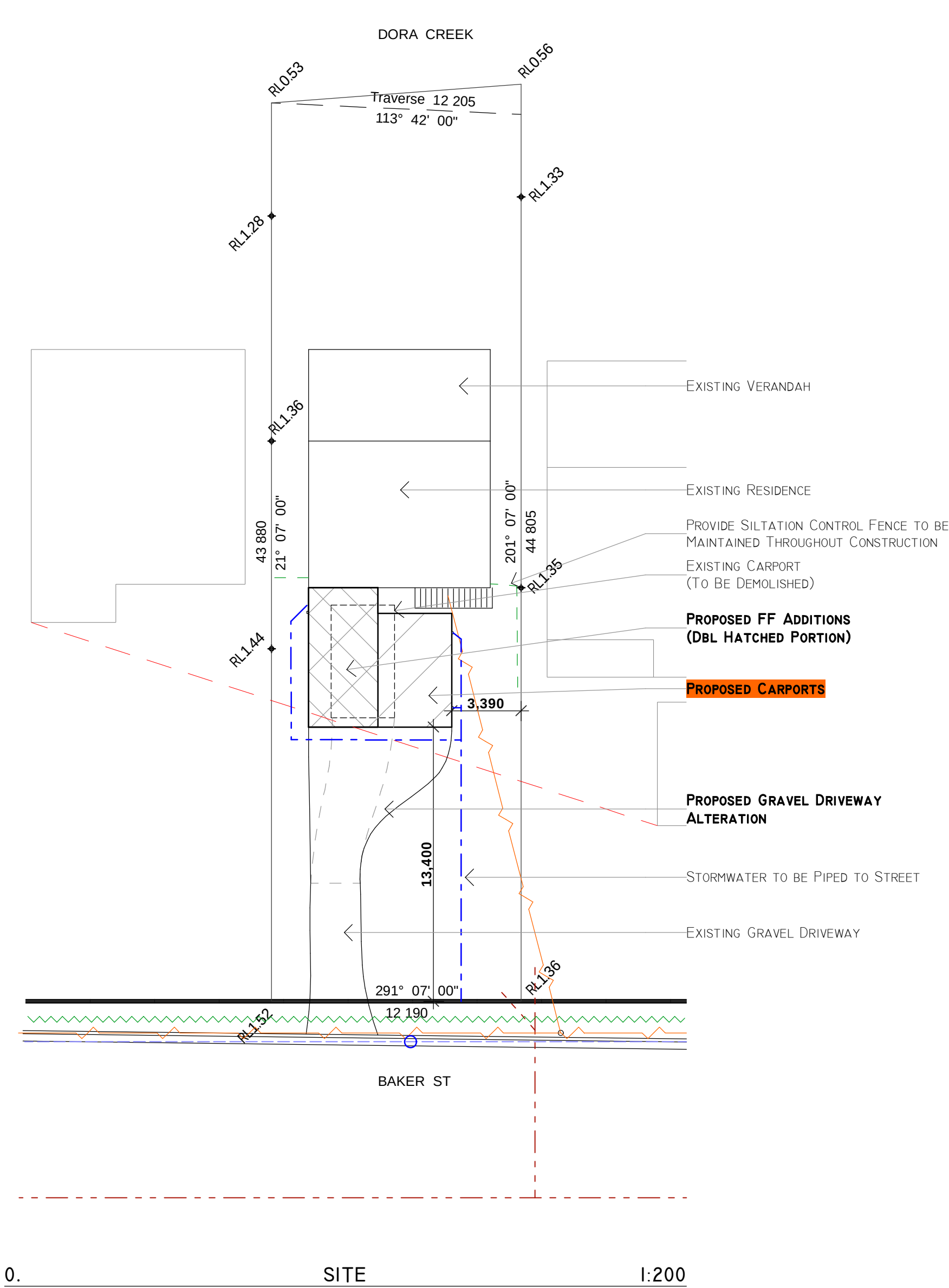
AREAS	
EXISTING GROUND FLOOR	63.7M ²
EXISTING FIRST FLOOR	68.0M ²
PROPOSED FIRST FLOOR ADDITIONS	18.8M ²
COMBINED TOTAL (LA)	86.8M ²
EXISTING DECKS (EACH FLOOR)	39.6M ²
PROPOSED GARAGE	23.0M ²
PROPOSED CARPORT	20.0M ²
SITE AREA	537.5M ²
FSR LA / SITE	0.16 (MAX 0.5)



LAKE MACQUARIE CITY COUNCIL

Approved plans for
Development Consent No: DA/2210/2022/A
Date of Approval: 05/01/2023

NOT FOR CONSTRUCTION



NOTES

- THE BUILDER, (OR STRUCTURAL ENGINEER ENGAGED BY THE BUILDER), IS TO DETERMINE WIND TERRAIN CATEGORY PRIOR TO COMMENCEMENT OF ANY WORK.
- STORMWATER TO BE PIPED TO STREET.
- NO TREES ARE AFFECTED BY THE PROPOSAL.
- SEWER CONNECTED TO COUNCIL MAINS.
- NO EASEMENTS OR ROW'S AFFECT THE PROPERTY.
- LEVELS AND CONTOURS ARE TO APPROX AHD.

SUPPLEMENTARY SPECIFICATION - BUSHFIRE PROTECTION

- ALL CONSTRUCTION TO MEET BUSHFIRE ATTACK LEVEL (BAL)12.5, IN ACCORDANCE WITH AS 3959. THIS IS A COMPREHENSIVE SPECIFICATION TO COVER ALL CONSTRUCTION SCENARIOS. SPECIFIED ITEMS THAT DO NOT APPLY TO THIS PROJECT MAY BE DISREGARDED.
- GENERALLY
- *SUB FLOOR - THERE IS NO REQUIREMENT FOR PROTECTION OF SUB FLOOR SUPPORTS UNDER THE BODY OF THE HOUSE IF THE SUB FLOOR IS ENCLOSED WITH A WALL (AS DESCRIBED BELOW FOR EXTERNAL WALLS) OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2 MM, MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM. IF THE SUB FLOOR IS NOT ENCLOSED, THEN POSTS, COLUMNS, POLES ETC SHALL BE NON - COMBUSTIBLE OR OF FIRE RESISTANT TIMBER.
- *FLOORING - (SLAB OR SUSPENDED TIMBER OR STEEL FRAME) THERE IS NO REQUIREMENT FOR PROTECTION OF BEARERS, JOISTS OR FLOORING IF THE LOWEST TIMBER IS GREATER THAN 400MM OFF THE GROUND, OR IF THE SUB FLOOR IS ENCLOSED. IF THE SUB FLOOR IS NOT ENCLOSED AND THE UNDERSIDE OF THE BEARERS IS LESS THAN 400MM ABOVE THE GROUND, THEN THE MATERIALS MUST BE NON - COMBUSTIBLE OR BE OF FIRE RESISTANT TIMBER.
- *SARKING - ANY SARKING USED FOR BAL-12.5, BAL-19, BAL-29 OR BAL-40 SHALL BE: A. NON-COMBUSTIBLE; OR B. BREATHER-TYPE SARKING COMPLYING WITH AS/NZS4200.1 AND WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5 (SEE AS1530.2) AND SARKED ON THE OUTSIDE OF THE FRAME; OR C. AN INSULATION MATERIAL CONFORMING TO THE APPROPRIATE AUSTRALIAN STANDARD FOR THAT MATERIAL.
- *EXTERNAL WALLS - TO BE EITHER MASONRY OR A STUD FRAME COVERED WITH NON - COMBUSTIBLE CLADDING IN THE ZONE THAT IS WITHIN 400MM ABOVE FINISHED GROUND LEVEL, OR 400MM ABOVE AN INTERSECTING ROOF WITH A PITCH OF LESS THAN 18°, OR 400MM FROM ANY OTHER PROJECTION FROM THE WALL THAT IS WIDER THAN 100MM, OR 400MM ABOVE A DECK. MATERIALS SUITABLE FOR NON - COMBUSTIBLE CLADDING INCLUDE 6MM FC SHEETING, BUSHFIRE RESISTANT TIMBER SPECIES, STEEL CLADDING OR A COMBINATION OF THE ABOVE. THERE IS NO REQUIREMENT FOR THE WALL SURFACE ABOVE THE 400MM ZONE DESCRIBED ABOVE. JOINTS IN MATERIALS GREATER THAN 3MM MUST BE COVERED, SEALED OR OVERLAPPED, ALTERNATIVELY THE WALL SURFACE MUST BE SARKED PRIOR TO CLADDING INSTALLATION.
- *VENTS AND WEEPHOLES - SHALL BE PROTECTED BY CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH WITH APERTURES OF <2.0MM, EXCEPT WHERE VENTS OR WEEPHOLES ARE LOCATED IN THE SUB-FLOOR ZONE.
- *WINDOWS - WHERE WINDOW OR SLIDING DOOR UNIT ASSEMBLES ARE INSTALLED WITHIN A ZONE LESS THAN 400MM ABOVE FINISHED GROUND, A DECK OR ROOF OF SLOPE LESS THAN 18°, THE WINDOW ASSEMBLY MUST BE MADE OF METAL OR BUSHFIRE RESISTANT TIMBER, WITH ALL EXTERNAL HARDWARE BEING MADE OF METAL. GLAZING FOR THESE UNITS MUST BE MINIMUM 4MM GRADE A SAFETY GLASS. WHERE SCREENS ARE FITTED THEY SHALL BE FITTED WITH FLYSCREENS THAT REMAIN FIXED WHEN THE WINDOW IS OPEN, SCREENING SHALL BE ALUMINIUM, BRONZE OR CORROSION RESISTANT STEEL (NOT BE FIBREGLASS). THE SCREEN FRAME SHALL BE MADE OF METAL OR BUSHFIRE RESISTANT TIMBER. WHEN INSTALLED THE SCREEN SHALL NOT HAVE ANY GAP (BETWEEN IT AND THE WINDOW) THAT EXCEEDS 3MM.
- *EXTERNAL DOORS - SHALL BE FITTED WITH TIGHT FITTING SCREEN DOORS WITH METAL FLYSCREENING WITH THE SAME SPECIFICATION AS WINDOW SCREENS DETAILED ABOVE, OR, BE DOORS THAT ARE NON - COMBUSTIBLE, OR, BE SOLID TIMBER, LAINATED OR RECONSTITUTED TIMBER CONSTRUCTION (MIN 35MM THICK) FOR 400MM ABOVE THE THRESHOLD, OR, BE HOLLOW CORE DOORS THAT HAVE A NON - COMBUSTIBLE KICK PLATE THAT EXTENDS FOR 400MM ABOVE THE THRESHOLD, OR, BE A FRAMED GLASS DOOR WITH A METAL OR BUSHFIRE RESISTANT TIMBER FRAME WITH THE GLAZING MEETING THE SAME SPECIFICATION AS FOR WINDOWS. ALL EXTERNAL DOOR FRAMES (WITHIN THE 400MM ZONE DESCRIBED ABOVE) SHALL BE METAL OR A BUSHFIRE RESISTANT TIMBER, AND ALL DOORS SHALL BE TIGHT FITTING TO THE FRAME AND THE ADJACENT ABUTTING DOOR (IN THE CASE OF A PAIR OF DOORS), AND ALL EXTERNAL DOORS SHALL HAVE WEATHER STRIPS, DRAUGHT EXCLUDERS OR SEALS AT THE BASE OF THE DOOR(S). SLIDING PATIO DOORS SHALL MEET THE ABOVE CONSTRUCTION AND GLAZING REQUIREMENTS, THERE IS NO REQUIREMENT FOR MESH SCREENS TO BE INSTALLED. THE DOORS SHOULD BE MANUFACTURED TO PREVENT ENTRY OF EMBERS WHEN THE DOOR IS CLOSED.
- *GARAGE DOORS - SHALL CONSTRUCTED OF METAL OR BUSHFIRE RESISTANT TIMBER OR NON COMBUSTIBLE CLADDING IN THE ZONE 400MM ABOVE THE BASE. THE DOOR SHALL BE FITTED WITH A DRAUGHT EXCLUSION SEAL AT THE BASE AND SHALL BE INSTALLED SO THAT NO GAP LARGER THAN 3MM EXISTS AT THE BASE OR SIDES. THE DOOR SHALL NOT INCLUDE VENTILATION SLOTS.
- *ROOFING GENERALLY - ROOF COVERINGS AND ACCESSORIES SHALL BE NON - COMBUSTIBLE, ROOF TO WALL JUNCTIONS SHALL BE SEALED BY USE OF EAVES LINING OR FULLY SEALING BETWEEN RAFTERS AND WALL SO THAT NO GAP GREATER THAN 3MM EXISTS. ANY ROOF VENTILATION OPENINGS SUCH AS GABLE OR ROOF VENTS SHALL BE PROTECTED BY CORROSION RESISTANT METAL MESH WITH MAXIMUM OF 2MM APERTURES. TILED ROOFS - SHALL BE FULLY SARKED, THE SARKING SHALL BE INSTALLED DIRECTLY BENEATH THE TILE BATTENS AND THE SARKING IS TO HAVE A FLAMMABILITY INDEX NOT GREATER THEN 5. THE SARKING IS TO COVER THE ENTIRE ROOF SURFACE INCLUDING THE RIDGE AND HIPS. THE SARKING IS TO BE INSTALLED SO THAT NO GAPS THAT WOULD ALLOW EMBER ENTRY TO OCCUR AT JUNCTIONS SUCH AS FASCIAS, GUTTERS, VALLEYS AND THE LIKE. SHEET ROOFS - SHALL BE FULLY SARKED AS PER TILED ROOFS, EXCEPT WHERE INSULATION BLANKET AND SARKING ARE USED, IN WHICH CASE THE BLANKET MAY GO ON TOP OF THE BATTENS. ANY GAP (EG. UNDER THE CORRUGATIONS) THAT OCCURS WHERE THE SHEETS MEET THE GUTTER, FASCIA OR VALLEY OR THE LIKE MUST BE SEALED SO THAT NO GAP LARGER THAN 3MM IS ALLOWED TO REMAIN. THESE AREAS SHOULD BE SEALED USING METAL MESH (AS DESCRIBED ABOVE), OR MINERAL WOOL OR OTHER NON - COMBUSTIBLE MATERIAL.
- VERANDAH ROOF CONSTRUCTION - THE VERANDAH ROOF SHALL BE A CONTINUANCE OF THE MAIN HOUSE ROOF WITH NO OPPORTUNITY FOR GAPS LARGER THAN 3MM, OR IF THE THE ROOF IS SEPARATED FROM THE MAIN HOUSE ROOF (EG. LOWER LEAN-TO STYLE ROOF ABUTTING THE WALL) THEN THE VERANDAH ROOF MUST BE ISOLATED FROM THE HOUSE STRUCTURE BY CONTINUING THE EXTERNAL WALL CLADDING TO FORM A 'CONSTRUCTION BREAK' BETWEEN THE HOUSE AND THE VERANDAH ROOF. SUCH A SEPARATE ROOF DOES NOT NEED TO BE LINED ON THE UNDERSIDE.
- ROOF PENETRATIONS - ALL ROOF PENETRATIONS MUST BE FLASHED OR SEALED TO THE ROOF COVERING SUCH THAT NO GAP LARGER THAN 3MM EXISTS. ANY VENTILATION OPENINGS IN PENETRATIONS MUST BE PROTECTED BY A METAL MESH (AS DETAILED ABOVE). ANY GLAZING IN A ROOF PENETRATION MUST BE GRADE A SAFETY GLASS, OR IN THE CASE OF DOUBLE GLAZING, THE OUTER SHEET MUST BE SAFETY GLASS. PLUMBING VENT PIPES MAY BE PVC.
- *EAVES, FASCIA AND GABLES - THERE IS NO MATERIAL LIMITATION FOR FASCIA, BARGES OR EAVES LININGS. ANY EAVES PENETRATIONS SHALL BE SEALED SO THAT NO GAP LARGER THEN 3MM REMAINS. ANY EAVES VENTS SHALL BE PROTECTED WITH MESH (AS SPECIFIED ABOVE). PLASTIC OR TIMBER JOINING STRIPS ARE PERMITTED FOR SHEET JOINS AND STORM MOULDS. GABLE CLADDING SHALL HAVE THE SAME SPECIFICATION REQUIREMENTS FOR WALL CLADDING AS DESCRIBED ABOVE.
- *GUTTERS, DOWNPIPES AND VALLEYS - NO REQUIREMENT, UNLESS A BOX GUTTER, IN WHICH CASE THE BOX GUTTER MUST BE NON - COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF USING A NON - COMBUSTIBLE MATERIAL. LEAF SCREENING IS NOT A REQUIREMENT, BUT IF USED THE SCREENING IS TO BE NON - COMBUSTIBLE WITH APERTURES <2.0MM.
- *VERANDAH FLOORS - NO REQUIREMENT FOR SUPPORT POSTS, BEARERS AND JOISTS IF THE PERIMETER IS ENCLOSED. IF ENCLOSED THE SPECIFICATION FOR WALLS (ABOVE) MUST BE FOLLOWED, (EXCEPT THAT SARKING IS NOT REQUIRED, AND ANY OPENINGS GREATER THAN 3MM ARE TO BE SCREENED WITH METAL SCREENING WITH APERTURES LESS THAN 2MM). IF NOT ENCLOSED THEN GENERALLY NON-COMBUSTIBLE FRAMING FOR SUPPORT POSTS, BEARERS OR JOISTS. ENCLOSED OR NOT THEN DECKING, STAIR TREADS AND TRAFFICABLE SURFACES OF RAMPS AND LANDINGS SHALL BE NON - COMBUSTIBLE, OR A SYSTEM COMPLIANT WITH AS 1530.8.1, OR A BUSHFIRE RESISTANT TIMBER SPECIES AS DESCRIBED BELOW.
- *BALUSTRADES - ANY BALUSTRADE THAT IS WITHIN 125MM OF ANY GLAZING OR A COMBUSTIBLE WALL MUST BE NON - COMBUSTIBLE. IF THE BALUSTRADE IS MORE THAN 125MM AWAY, THEN THERE ARE NO MATERIAL REQUIREMENTS.
- *SERVICE PIPES (WATER AND GAS) - ALL EXPOSED PIPES SHALL BE METAL.
- *BUSHFIRE RESISTANT TIMBER SPECIES - THE FOLLOWING TIMBER SPECIES HAVE BEEN TESTED TO MEET THE REQUIREMENTS OF UP TO BAL 29 - SILVERTOP ASH, SPOTTED GUM, RIVER RED GUM, TURPENTINE, MERBAU, RED IRONBARK AND BLACKBUTT.

12345
SCALE 1:100 on A2

246810
SCALE 1:200 on A2

246810
SCALE 1:250 on A2

246810
SCALE 1:500 on A2

TRUE SOLAR NORTH

MAGNETIC NORTH

List of Amendments

25/11/22 - SECTION 4.55
APPLICATION TO DELETE ENCLOSING WALLS TO ALTER GARAGE TO BECOME OPEN CARPORT & TO ALTERED THE APPROVED GARAGE FLOOR LEVEL.

SECTION 4.55 CHANGES NOTED IN COLOURED BACKGROUND

20/12/22 - DELETE GARAGE ROLLER DOOR.

RESIDENTIAL BUILDING DESIGN
LICENSED BUILDER # 41026

DESIGN HARMONY
MITCHEL MORGAN
Est. 1980

993 Yarramalong Rd, Wyong Creek, 2259
P. 02 43 561 226 M. 0414 872 813
E. desharm@bigpond.net.au

OWNER / CLIENT
Singh, M.

Project
Proposed Addition,
Garage & Carport

Project Address
Lot 84
DP 19828
50 Baker St,
Dora Creek

THIS SHEET - 2

SITE PLAN

SCALE 1:200 DATE 25/11/2022

FILE No. 222 - 403 DRAWN MM ISSUE 03